

**Improvements on
Common Property
for which buyer
will be responsible**

None recorded on Register.

By-law 13.1 grants exclusive use for a car park. Refer to extract of by-law and plan attached.

(Improvements without body corporate approval should be disclosed here by the seller)

Assets on Register

Refer to attached Register.

Insurance

Insurer:	Allianz Australia Insurance Limited
Policy No:	QRSC15005052
Current to:	14.08.18
Building Cover:	\$ 21,435,969
Public Liability:	\$ 20,000,000
Common Contents:	\$ 214,360
Loss of Rent:	\$ 3,215,395
Building Catastrophe:	\$ 3,215,395
Office Bearers Liability:	\$ 5,000,000
Machinery Breakdown:	\$ 100,000

Signing

.....
Seller

.....
Witness

.....
Date

**Buyer's
Acknowledgement**

The buyer acknowledges having received and read this statement from the seller before entering into the contract.

.....
Buyer

.....
Witness

.....
Date

The information contained in this two page statement is provided exclusively in relation to the lot mentioned and has been obtained from records made available by the body corporate and is accurate only to the extent of the accuracy of the records produced. INSIDE OUT LEGAL SERVICES does not warrant the accuracy or reliability of the body corporate records produced including any information advised from computer records. Only improvements on common property properly authorised and recorded in body corporate records have been stated. A physical inspection of the property is not undertaken.



**INSIDE OUT LEGAL SERVICES
19.07.18**

STATUTORY WARRANTIES AND CONTRACTUAL RIGHTS

The Seller gives notice to the Buyer of the following matters:

(a) Latent or Patent Defects in Common Property or Body Corporate Assets
[Section 223(2)(a)&(b) Body Corporate and Community Management Act 1997-2003]

These matters are for consideration by the Vendor and are not disclosed in this Statement.

(b) Actual or Contingent or Expected Liabilities of Body Corporate
[Section 223(2)(c)&(d) Body Corporate and Community Management Act 1997-2003]

These matters are for consideration by the Vendor and are not disclosed in this Statement.

(c) Circumstances in Relation to Affairs of the Body Corporate
[Section 223(3) Body Corporate and Community Management Act 1997-2003]

These matters are for consideration by the Vendor and are not disclosed in this Statement.

(d) Exceptions to Warranties in Clause 7.4(3) of REIQ Contract for Lots in a Community Titles Scheme (Sixth Edition)

These matters are for consideration by the Vendor and are not disclosed in this Statement.

(e) Proposed Body Corporate Resolutions (clause 8.4) of REIQ Contract for Lots in a Community Titles Scheme (Sixth Edition)

These matters are for consideration by the Vendor and are not disclosed in this Statement.

NEW COMMUNITY MANAGEMENT STATEMENT
THE BEACH CLUB MOOLOOLABA COMMUNITY TITLES SCHEME 15260

- (3) This section does not apply to a lot created under a standard format plan of subdivision.

STORAGE OF FLAMMABLE MATERIALS

9. (1) The occupier of a lot must not, without the Body Corporate's written approval, store a flammable substance on the common property.
- (2) The occupier of a lot must not, without the Body Corporate's written approval, store a flammable substance on the lot unless the substance is used or intended for use for domestic purposes.
- (3) However, this section does not apply to the storage of fuel in -
- (a) the fuel tank of a vehicle, boat, or internal combustion engine; or
 - (b) a tank kept on a vehicle or boat in which the fuel is stored under the requirements of the law regulating the storage of flammable liquid.

GARBAGE DISPOSAL

10. (1) Unless the Body Corporate provides some other way of garbage disposal, the occupier of a lot must keep a receptacle for garbage in clean and dry condition and adequately covered on the lot, or on a part of the common property designated by the Body Corporate for the purpose.
- (2) The occupier of a lot must -
- (a) comply with all local government local laws about disposal of garbage; and
 - (b) ensure that the occupier does not, in disposing of garbage, adversely affect the health, hygiene or comfort of the occupiers of other lots.

KEEPING OF ANIMALS

11. (1) The occupier of a lot must not, without the Body Corporate's written approval -
- (a) bring or keep an animal on the lot or the common property; or
 - (b) permit an invitee to bring or keep an animal on the lot or the common property.
- (2) The occupier must obtain the Body Corporate's written approval before bringing, or permitting an invitee to bring, an animal onto the lot or the common property.

EXCLUSIVE USE – COURTYARD/BALCONY

12. The proprietor for the time being of lots 15,17,18,19,21,46,59,60,65,66,70,71, and 75 shall have the privilege of the exclusive use and enjoyment for a courtyard/balcony facility of that part for the common property as is delineated and which has the same number corresponding with the lot number in the plans annexed marked "A", "B" and "C" on the following conditions:-
- (i) the proprietor shall not construct any permanent structure on the exclusive use area without first obtaining a written consent of the Committee of the Body Corporate;
 - (ii) The proprietor must allow the resident manager or any other person authorized by the Committee of the Body Corporate access to the exclusive use area at all times through the lot to enable the resident manager or such other person to inspect and maintain the area;
 - (iii) The proprietor must, at his own cost, keep the area in a neat and tidy condition and otherwise maintain the area.

EXCLUSIVE USE – CAR PARKING AND STORAGE

- 13.1 The proprietor for the time being of each lot shall have the special privilege of the exclusive use and enjoyment for a car parking facility and storage of that part of the common property as is delineated and which has the same number corresponding with the lot number on the plan annexed marked "D" on the following conditions:-
- (i) The proprietor shall not construct any permanent structure on the exclusive use area without first obtaining the written consent of the committee of the Body Corporate.
 - (ii) The proprietor must allow the resident manager or any other such person authorized by the committee of the body corporate access to the exclusive use area at all times to enable the Resident Manager or such other person to inspect and maintain the area.

NEW COMMUNITY MANAGEMENT STATEMENT
THE BEACH CLUB MOOLOOLABA COMMUNITY TITLES SCHEME 15260

- 13.2 One proprietor of a lot may transpose his exclusive use area with another proprietor of a lot at any time and from time to time on giving written notice to the body corporate from both proprietors and otherwise shall comply with Section 30(7b) of the Act. The costs of recording the notification of transposition of the exclusive use area must be paid by the proprietors of the lots.

USE OF LOTS

14. All lots shall be used for residential purposes only save and except for lot 18 which may be used both for residential purposes and for the purpose of the performance of the duties required of the Manager pursuant to the provisions of any Resident Manager's Agreement entered into by the Body Corporate and for conducting a business of the sale and/or letting of lots in the building pursuant to the provisions of any Letting Agreement entered into by the Body Corporate and/or for the said Letting agreement.

SWIMMING POOL HOURS

15. The swimming pool shall not be used between the hours of 9pm and 7am or between such other hours as the Committee may from time to time nominate.

DISPLAY LOT

16. While the original proprietor remains the proprietor of any lot, it and its respective servants and /or agents shall be entitled to utilise any such lot in the building as a display lot for the purpose only of allowing prospective purchasers of any lot to inspect such lot AND FURTHER shall be entitled to place signs and other advertising and display material in and about the lot and other parts of the common property.

PLANTERS

17. (i) A proprietor or occupier of a lot must allow the Resident Manager, body Corporate committee or any properly appointed servant or agent, at all reasonable times, access to the Planters through the proprietor's lot for the purpose of inspection and maintenance of the Planters and gardens therein.
(iii) A proprietor or occupier of a lot must not obstruct the body corporate, its committee or properly appointed servants or agents from carrying out its duties under this by-law.

STORAGE FOR MANAGER

18. The resident manager is allocated by exclusive use the storage areas noted on the plan annexed marked "B", "E" and "F" as manager's storeroom for the storage for equipment and materials used in the discharge of the Manager's duties. The Manager shall be entitled to the exclusive use and possession of the keys to the storage area while he is the manager under a binding resident manager's agreement or letting agreement entered into with the body corporate.

AGREEMENTS

19. The Body Corporate may enter the following agreements with any person or entity on such terms as the Body Corporate determines:-
(i) Resident Manager's Agreement: and/or
(ii) Letting Agreement

NEW COMMUNITY MANAGEMENT STATEMENT

THE BEACH CLUB MOOLOOLABA COMMUNITY TITLES SCHEME 15260

EXCLUSIVE USE – COURTYARD

20. The proprietor for the time being of Lots 1,2,3,4,5,6,7 & 8 shall have the special privilege of the exclusive use and enjoyment of a courtyard facility of that part of the common property as is delineated and which has the same number corresponding with the lot number on the plan annexed marked "A" on the following conditions:-
- (i) The proprietor is not entitled to construct any permanent structure or place any fixture or chattel on the exclusive use area which will obstruct access to the exclusive use area;
 - (ii) The proprietor must allow the resident manager or any other person authorized by the Committee of the Body Corporate access to the exclusive use area at all times and if necessary through the lot to enable the resident manager or such other person to inspect and maintain the area.
 - (iii) The Body Corporate will be responsible for maintenance of the area.

RECOVERY OF RESTORATION COSTS

21. Where the Body Corporate expends money to make good damage caused by a breach of the Act and/or Regulation Module for the time being operative, or of these By-laws by any owner or occupier of a lot or the guests, servants, employees, agents, children, invitees or licensees of the owner or occupier of a lot or any of them, the Body Corporate or its committee shall be entitled to recover the amount so expended as a debt in an action in any Court of competent jurisdiction from the owner of the lot at the time when the breach occurred.

RECOVERY OF LEGAL AND OTHER COSTS

22. (1) An owner (which expression shall extend to a mortgagee in possession) shall pay on demand the whole of the Body Corporate's costs and expenses (including solicitor and own client costs) such amount to be deemed a liquidated debt, incurred in:
- (a) recovering levies or moneys payable to the Body Corporate pursuant to the Act duly levied upon that owner by the Body Corporate or otherwise or pursuant to the by-laws of the Body Corporate; and
 - (b) all proceedings including legal proceedings concluded in favour of the Body Corporate taken by or against the owner or the lessee or occupier of the owner's lot, including but not limited to, applications for an order by the Commissioner, an Adjudicator and appeals to the Court;
- (2) In the event that the owner (or mortgagee in possession) fails to attend to the payment of such costs and expenses after demand is made for the payment of same, the Body Corporate may:
- (a) treat such costs and expenses as a liquidated debt and take action for the recovery of same in any Court of competent jurisdiction; and
 - (b) enter such costs and expenses against the levy account of such owner in which case, the amount of same shall be paid to the Body Corporate upon a subsequent sale or disposal of the owner's lot failing which the purchaser of such lot shall be liable to the Body Corporate for the payment of same.

SCHEDULE D

ANY OTHER REQUIRED OR PERMITTED DETAILS

Sections 57.(2) (a) and (b) of the Body Corporate and Community Management Act 1997 are not applicable.

NEW COMMUNITY MANAGEMENT STATEMENT
THE BEACH CLUB MOOLOOLABA COMMUNITY TITLES SCHEME 15260

SCHEDULE E
ALLOCATION OF EXCLUSIVE USE AREA

LOT ON PLAN	EXCLUSIVE USE AREA	PURPOSE OF USE	BY-LAW REFERENCE
Lot 15 on BUP 105598	Area 15 on level B on sketch plan "A"	Courtyard/Balcony	By-law 12
Lot 17 on BUP 105598	Area 17 on level B on sketch plan "A"	Courtyard/Balcony	By-law 12
Lot 18 on BUP 105598	Area 18 on level B on sketch plan "A"	Courtyard/Balcony	By-law 12
Lot 19 on BUP 105598	Area 19 on level B on sketch plan "A"	Courtyard/Balcony	By-law 12
Lot 21 on BUP 105598	Area 21 on level B on sketch plan "A"	Courtyard/Balcony	By-law 12
Lot 46 on BUP 105598	Area 46 on level D on sketch plan "B"	Courtyard/Balcony	By-law 12
Lot 59 on BUP 105598	Area 59 on level D on sketch plan "B"	Courtyard/Balcony	By-law 12
Lot 60 on BUP 105598	Area 60 on level D on sketch plan "B"	Courtyard/Balcony	By-law 12
Lot 65 on BUP 105598	Area 65 on level D on sketch plan "B"	Courtyard/Balcony	By-law 12
Lot 66 on BUP 105598	Area 66 on level E on sketch plan "B" "C"	Courtyard/Balcony	By-law 12
Lot 70 on BUP 105598	Area 70 on level E on sketch plan "B" "C"	Courtyard/Balcony	By-law 12
Lot 71 on BUP 105598	Area 71 on level E on sketch plan "B" "C"	Courtyard/Balcony	By-law 12
Lot 75 on BUP 105598	Area 75 on level E on sketch plan "B" "C"	Courtyard/Balcony	By-law 12
Lot 1 on BUP 105598	Area 1 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 2 on BUP 105598	Area 2 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 3 on BUP 105598	Area 3 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 4 on BUP 105598	Area 4 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 5 on BUP 105598	Area 5 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 6 on BUP 105598	Area 6 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 7 on BUP 105598	Area 7 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 8 on BUP 105598	Area 8 on level A on sketch plan "D"	Carparking	By-law 13.1

NEW COMMUNITY MANAGEMENT STATEMENT
THE BEACH CLUB MOOLOOLABA COMMUNITY TITLES SCHEME 15260

Lot 9 on BUP 105598	Area 9 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 10 on BUP 105598	Area 10 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 11 on BUP 105598	Area 11 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 12 on BUP 105598	Area 12 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 13 on BUP 105598	Area 13 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 14 on BUP 105598	Area 14 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 15 on BUP 105598	Area 15 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 16 on BUP 105598	Area 16 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 17 on BUP 105598	Area 17 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 18 on BUP 105598	Area 18 on level A on sketch plan "D"	Carparking/Storage	By-law 13.1
Lot 19 on BUP 105598	Area 19 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 20 on BUP 105598	Area 20 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 21 on BUP 105598	Area 21 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 22 on BUP 105598	Area 22 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 23 on BUP 105598	Area 23 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 24 on BUP 105598	Area 24 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 25 on BUP 105598	Area 25 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 26 on BUP 105598	Area 26 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 27 on BUP 105598	Area 27 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 28 on BUP 105598	Area 28 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 29 on BUP 105598	Area 29 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 30 on BUP 105598	Area 30 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 31 on BUP 105598	Area 31 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 32 on BUP 105598	Area 32 on level A on sketch plan "D"	Carparking	By-law 13.1

NEW COMMUNITY MANAGEMENT STATEMENT
THE BEACH CLUB MOOLOOLABA COMMUNITY TITLES SCHEME 15260

Lot 33 on BUP 105598	Area 33 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 34 on BUP 105598	Area 34 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 35 on BUP 105598	Area 35 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 36 on BUP 105598	Area 36 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 37 on BUP 105598	Area 37 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 38 on BUP 105598	Area 38 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 39 on BUP 105598	Area 39 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 40 on BUP 105598	Area 40 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 41 on BUP 105598	Area 41 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 42 on BUP 105598	Area 42 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 43 on BUP 105598	Area 43 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 44 on BUP 105598	Area 44 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 45 on BUP 105598	Area 45 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 46 on BUP 105598	Area 46 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 47 on BUP 105598	Area 47 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 48 on BUP 105598	Area 48 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 49 on BUP 105598	Area 49 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 50 on BUP 105598	Area 50 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 51 on BUP 105598	Area 51 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 52 on BUP 105598	Area 52 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 53 on BUP 105598	Area 53 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 54 on BUP 105598	Area 54 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 55 on BUP 105598	Area 55 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 56 on BUP 105598	Area 56 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 57 on BUP 105598	Area 57 on level A on sketch plan "D"	Carparking	By-law 13.1

NEW COMMUNITY MANAGEMENT STATEMENT
THE BEACH CLUB MOOLOOLABA COMMUNITY TITLES SCHEME 15260

Lot 33 on BUP 105598	Area 33 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 34 on BUP 105598	Area 34 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 35 on BUP 105598	Area 35 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 36 on BUP 105598	Area 36 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 37 on BUP 105598	Area 37 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 38 on BUP 105598	Area 38 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 39 on BUP 105598	Area 39 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 40 on BUP 105598	Area 40 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 41 on BUP 105598	Area 41 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 42 on BUP 105598	Area 42 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 43 on BUP 105598	Area 43 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 44 on BUP 105598	Area 44 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 45 on BUP 105598	Area 45 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 46 on BUP 105598	Area 46 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 47 on BUP 105598	Area 47 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 48 on BUP 105598	Area 48 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 49 on BUP 105598	Area 49 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 50 on BUP 105598	Area 50 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 51 on BUP 105598	Area 51 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 52 on BUP 105598	Area 52 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 53 on BUP 105598	Area 53 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 54 on BUP 105598	Area 54 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 55 on BUP 105598	Area 55 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 56 on BUP 105598	Area 56 on level A on sketch plan "D"	Carparking	By-law 13.1
Lot 57 on BUP 105598	Area 57 on level A on sketch plan "D"	Carparking	By-law 13.1

NEW COMMUNITY MANAGEMENT STATEMENT
THE BEACH CLUB MOOLOOLABA COMMUNITY TITLES SCHEME 15260

Lot 4 on BUP 105598	Area 4 on level B on sketch plan "A"	Courtyard	By-law 20
Lot 5 on BUP 105598	Area 5 on level B on sketch plan "A"	Courtyard	By-law 20
Lot 6 on BUP 105598	Area 6 on level B on sketch plan "A"	Courtyard	By-law 20
Lot 7 on BUP 105598	Area 7 on level B on sketch plan "A"	Courtyard	By-law 20
Lot 8 on BUP 105598	Area 8 on level B on sketch plan "A"	Courtyard	By-law 20

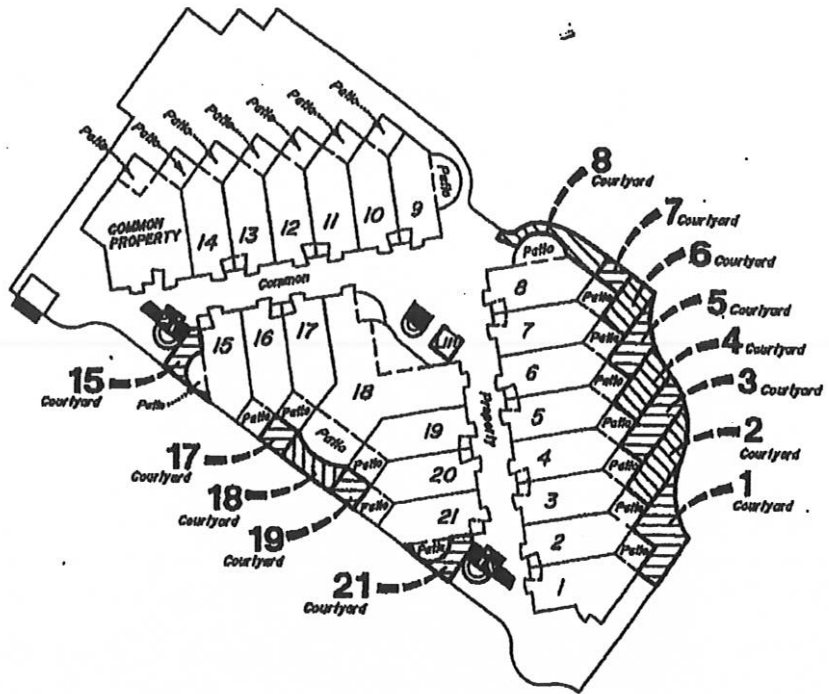
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Building Units and Group Titles Act 1980
BUILDING UNITS AND GROUP TITLES REGULATIONS 1980
(Form 9)

Name of Building: "THE BEACH CLUB MOOLOOLABA"



LEVEL B
COURTYARD ALLOCATION PLAN



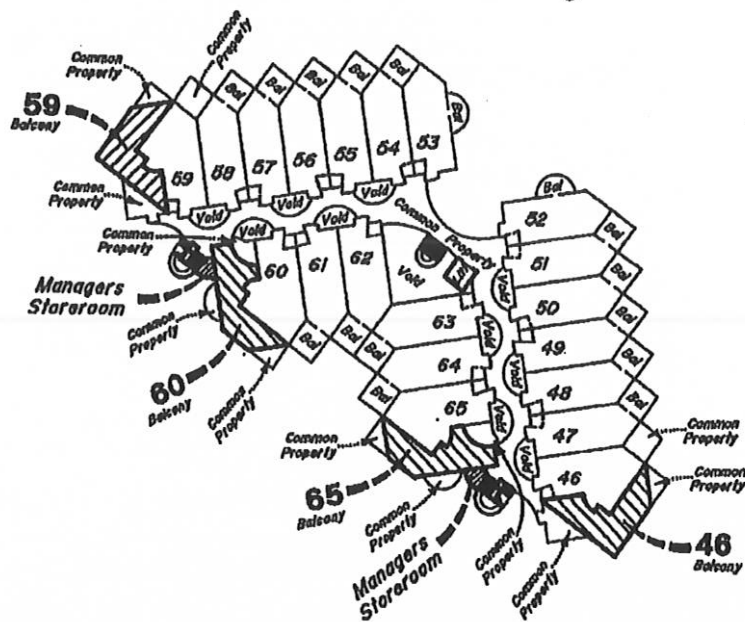
SCALE: 1:500

Contained within structural elements.

Building Units and Group Titles Act 1980
BUILDING UNITS AND GROUP TITLES REGULATIONS 1980
(Form 9)

Name of Building: "THE BEACH CLUB MOOLOOLABA"

LEVEL D
BALCONY & STOREROOM ALLOCATION PLAN



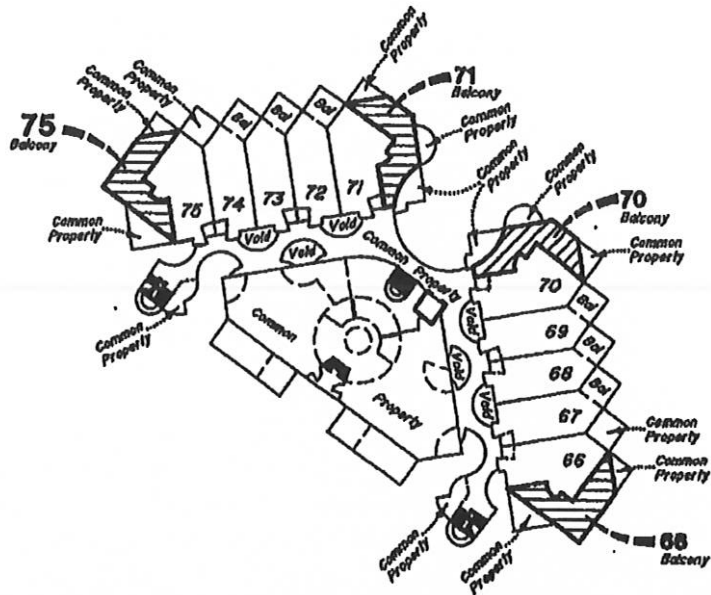
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Contained within structural elements.

Building Units and Group Titles Act 1980
BUILDING UNITS AND GROUP TITLES REGULATIONS 1980
(Form 9)

Name of Building: "THE BEACH CLUB MOOLOOLABA"

LEVEL E
BALCONY ALLOCATION PLAN



SCALE: 1:500

Contained within structural elements

"D"

THE BEACH CLUB MOOLOOLABA COMMUNITY TITLES SCHEME No. 15260
PLAN FOR EXCLUSIVE USE AREAS OF COMMON PROPERTY ON LEVEL A

CARPARK ALLOCATION PLAN

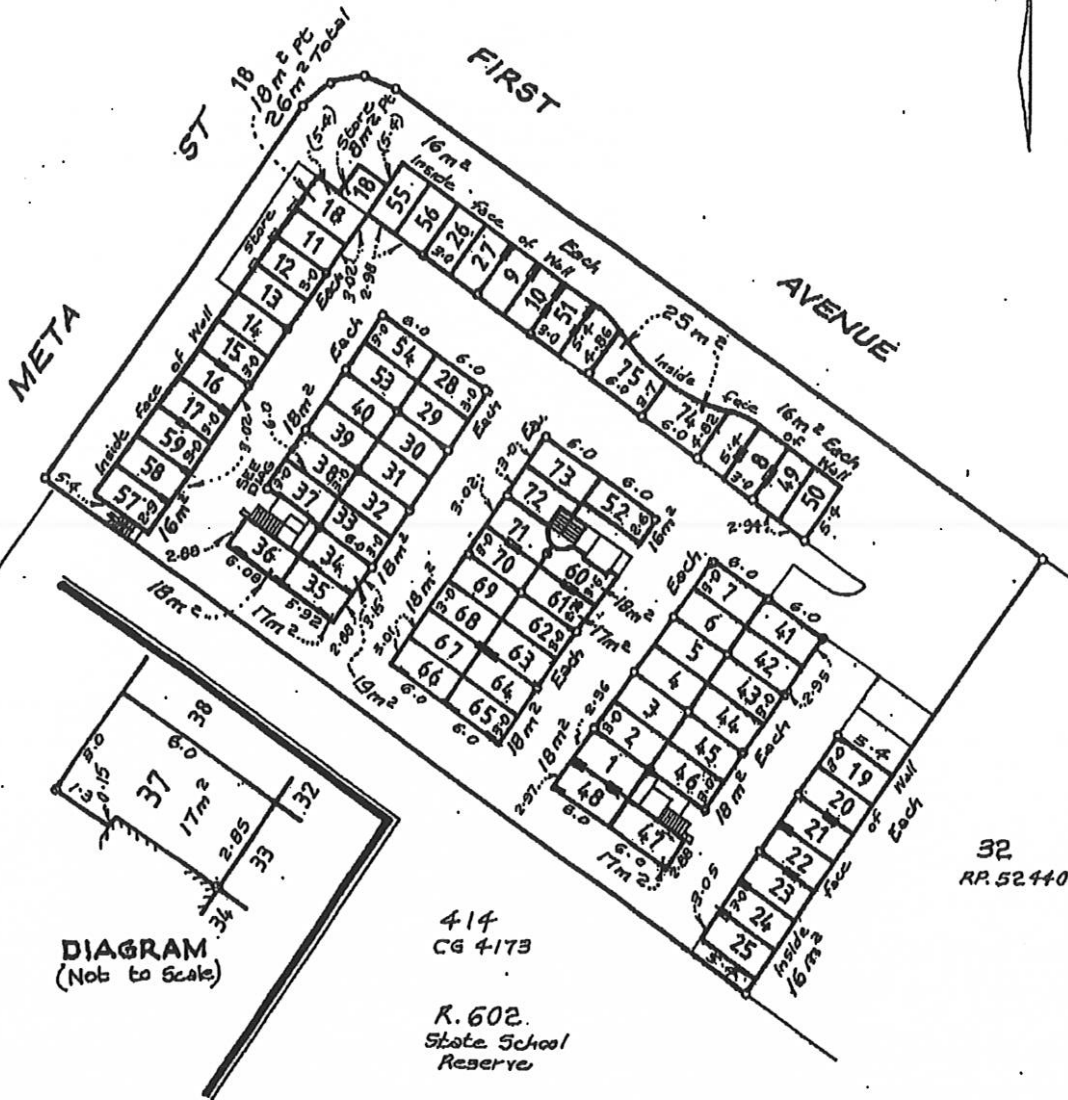
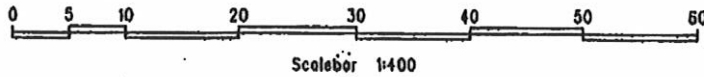


DIAGRAM
(Not to Scale)

414
CG 4173

R. 602.
State School
Reserve

32
RP. 52440



EXCLUSIVE USE AREAS DEFINED BY:
INSIDE FACE OF BUILDING WALL,
STRUCTURAL COLUMNS AND
DIMENSIONS

PLAN A

We, JOHN READERS (ASBESTOS) PTY LTD (ACH 010472118)
TRADING AS READERS + CLIFFORD SURVEYORS,
LICENSED SURVEYORS OF MOOLOOLABA, CERTIFY THAT THE
DETAILS SHOWN ON THIS PLAN ARE CORRECT.

(Signature)
OF
JOHN EDWARD READERS, Director, Licensed Surveyor
Date 26/02/2008 BY TRAVIS CLIFFORD, Director

CLIENT: THE BEACH CLUB MOOLOOLABA
COMMUNITY TITLES SCHEME No. 15260

PROJECT: PLAN OF EXCLUSIVE USE
OVER COMMON PROPERTY FOR
LOTS 1 - 75 ON BUP 105598
PARISH OF MOOLOOLABA
COUNTY OF CANNING

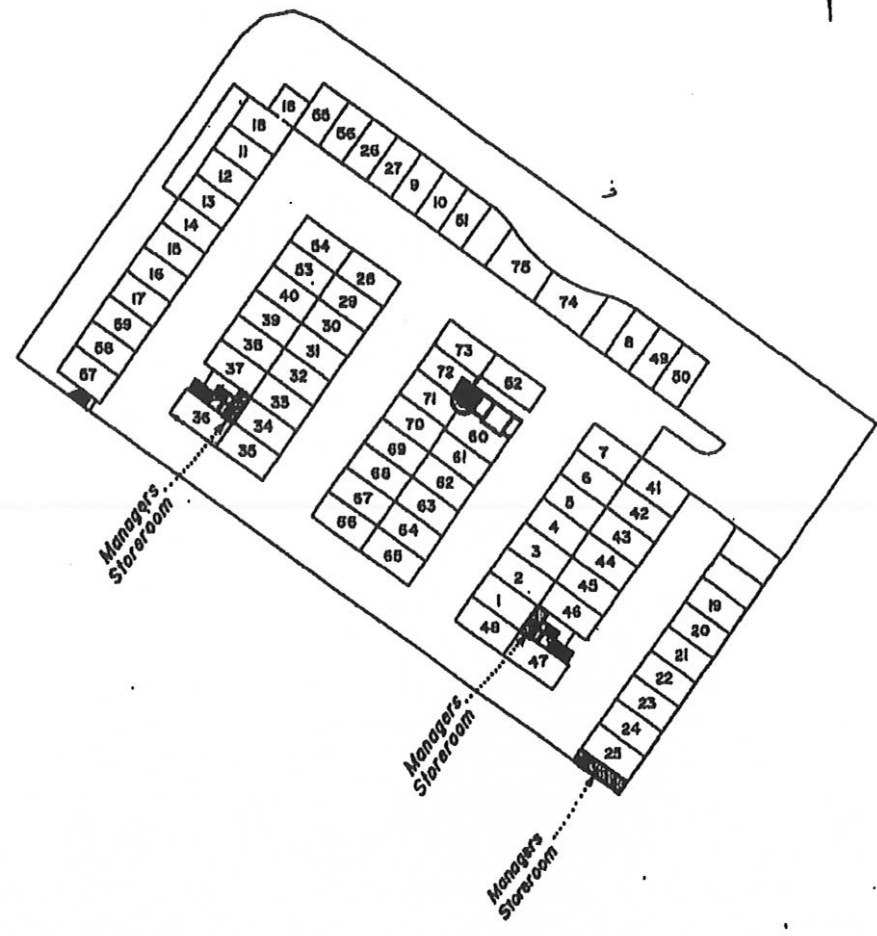
PREPARED BY: WJR
DRAWN BY: RC, 5205
DATE: 26/02/08
FILED: L/L

READERS + CLIFFORD
CONSULTING SURVEYORS
SUITE 11
411/111 FLEMING STREET, BARRACLOUGH
PO BOX 204 MOOLOOLABA QLD 4227
PH: 07 5447 7777 FAX: 07 5447 7700
WWW.READERS+CLIFFORD.COM.AU

Building Units and Group Titles Act 1980
BUILDING UNITS AND GROUP TITLES REGULATIONS 1980
(Form 9)

Name of Building: "THE BEACH CLUB MOOLOOLABA"

LEVEL A
MANAGERS STOREROOM ALLOCATION PLAN



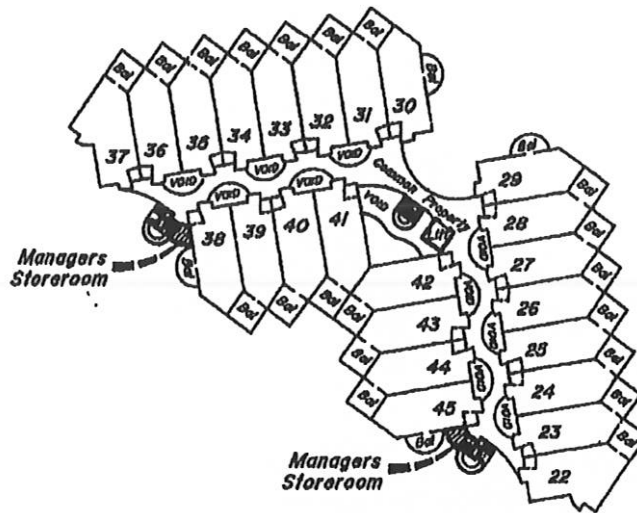
SCALE: 1:500

Contained within structural elements

Building Units and Group Titles Act 1980
BUILDING UNITS AND GROUP TITLES REGULATIONS 1980
(Form 9)

Name of Building: "THE BEACH CLUB MOOLOOLABA"

LEVEL C
MANAGERS STOREROOM ALLOCATION PLAN



SCALE: 1:500

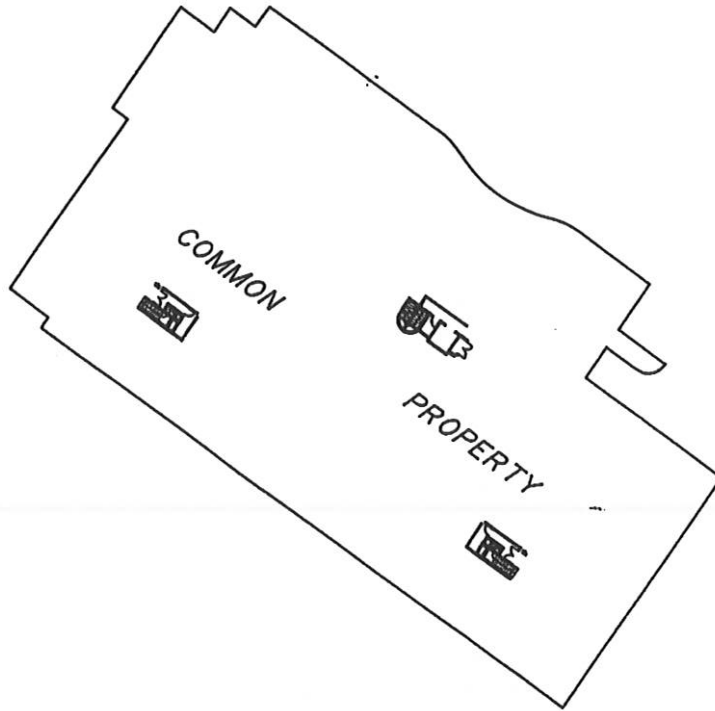
Contained within structural elements.

Name of Building: "THE BEACH CLUB MOOLOOLABA"

Regulation 8(1)
Sheet No. 7 of 12 Sheets

BUILDING UNITS PLAN NO. 105598

LEVEL A



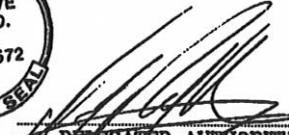
SCALE: 1:500

Floor areas are approximate only.

SIGNATURE OF REGISTERED PROPRIETOR:


DIRECTOR
Kerry Olmstead
DIRECTOR



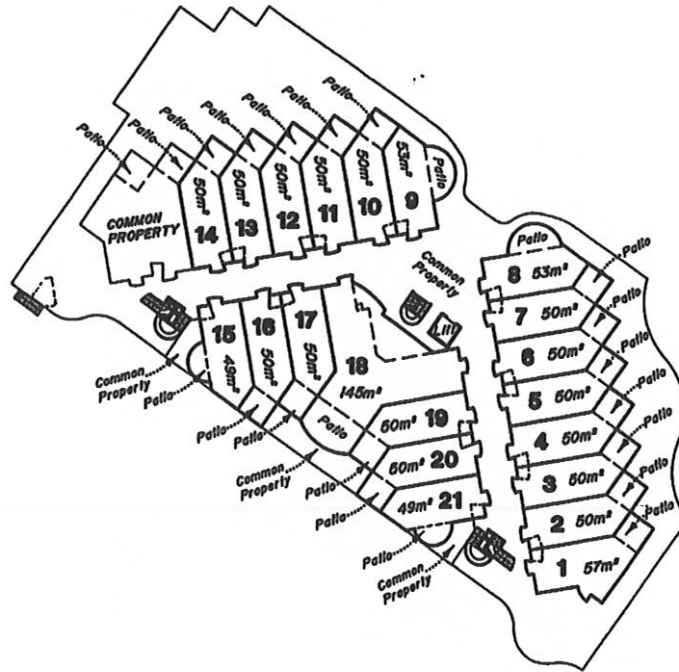

DELEGATED AUTHORITY
MAROOCHY SHIRE COUNCIL

Name of Building: "THE BEACH CLUB MOOLOOLABA"

Regulation 8(1)
Sheet No. 8 of 12 Sheets

BUILDING UNITS PLAN NO. 105598

LEVEL B



SCALE: 1:500


Floor areas are approximate only.

SIGNATURE OF REGISTERED PROPRIETOR:


DIRECTOR

DIRECTOR



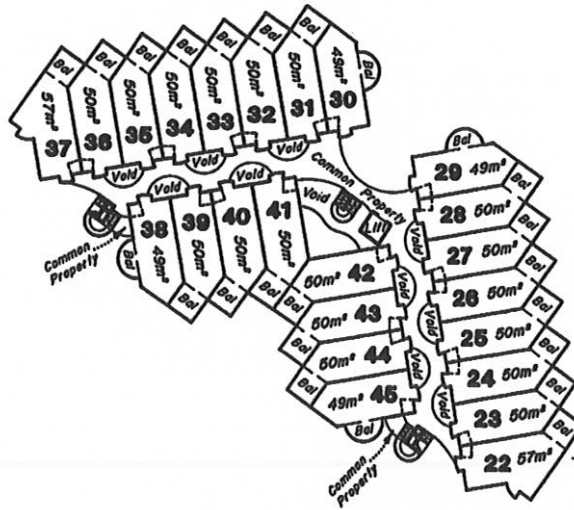

DELEGATED AUTHORITY
MAROOCHY SHIRE COUNCIL

Name of Building: "THE BEACH CLUB MOOLOOLABA"

Regulation 8(1)
Sheet No. 9 of 12 Sheets

BUILDING UNITS PLAN NO. 105598

LEVEL C



SCALE: 1:500

Floor areas are approximate only.

SIGNATURE OF REGISTERED PROPRIETOR:


DIRECTOR
Kerry Chambers
DIRECTOR



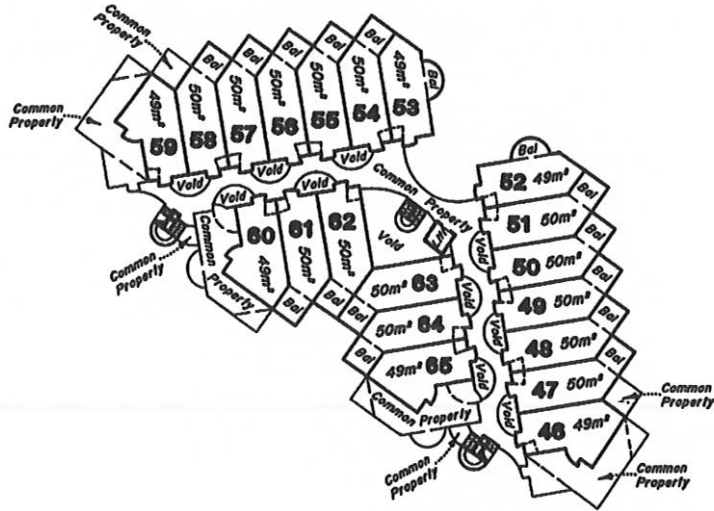

DELEGATED AUTHORITY
MAROOCHY SHIRE COUNCIL

Name of Building: "THE BEACH CLUB MOOLOOLABA"

Regulation 8(1)
Sheet No. 10 of 12 Sheets

BUILDING UNITS PLAN NO. 105598

LEVEL D




SCALE: 1:500

Floor areas are approximate only.

SIGNATURE OF REGISTERED PROPRIETOR:


DIRECTOR
Kerry O'Rourke
DIRECTOR



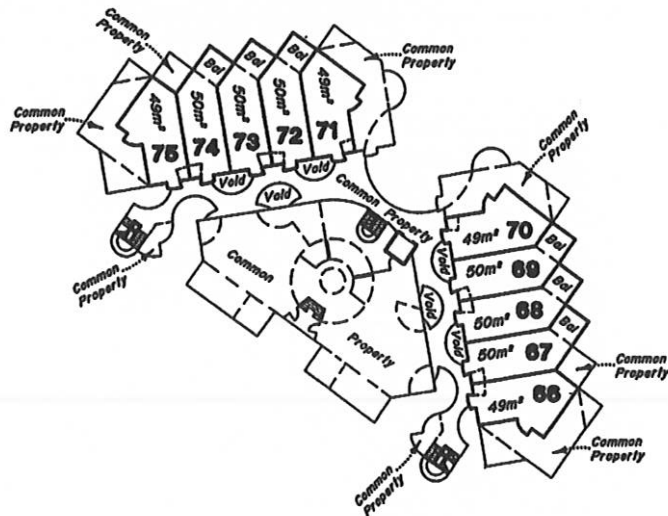

DELEGATED AUTHORITY
MAROOCHY SHIRE COUNCIL

Name of Building: "THE BEACH CLUB MOOLOOLABA"

Regulation 8(1)
Sheet No. 11 of 12 Sheets

BUILDING UNITS PLAN NO. 105598

LEVEL E




SCALE: 1:500

Floor areas are approximate only.

SIGNATURE OF REGISTERED PROPRIETOR:


DIRECTOR
Kerry Clunby
DIRECTOR




DELEGATED AUTHORITY
MAROOCHY SHIRE COUNCIL

ASSET REGISTER

THE BEACH CLUB MOOLOOLABA CTS 15260

Description	Type	Method of Acquisition	Date of Acquisition	Acquired from	Original Cost	Cost to date	Market Value
Vision Upright Exercise Bike	Furniture & Fittings	Purchase	31/07/06	Future Fitness Equipment		0.00	2,080.00
Lobby furniture	Furniture & Fittings	Purchase	19/05/97	Outdoor Furniture Specialists		0.00	1,000.00
Pool and Sundeck Furniture	Furniture & Fittings	Purchase	19/05/97	Outdoor Furniture Specialists		0.00	4,875.40
BACKDRAFT CYCLE WINDTRAINER AIR BIKE 701 STRENGTH SYSTEM	Furniture & Fittings	Purchase	08/10/01	ELITE FITNESS EQUIPMENT ELITE ELITE		0.00	4,530.00
Barbeques x 2 Roband HP505A Hot Plates S/N 3361 & 3501	Furniture & Fittings	Purchase	19/10/01	Hiller & Assoc Commercial		0.00	870.00
Resin Lounger Palmyra Natural	Furniture & Fittings	Purchase	13/09/02	Daydream Leisure Furniture		0.00	480.00
1 x mobile bbq 850	Furniture & Fittings	Purchase	16/09/02	Barbeques Galore		0.00	895.00
2.5M Umbrella - Natural	Furniture & Fittings	Purchase	11/11/02	Daydream Leisure Furniture		0.00	568.00
				Page Totals	0.00	0.00	15,298.40
				Report Totals	0.00	0.00	15,298.40

ASSET REGISTER

THE BEACH CLUB MOOLOOLABA CTS 15260

Description	Type	Method of Acquisition	Date of Acquisition	Acquired from	Original Cost	Cost to date	Market Value
LUGARNO UMBRELLA	Furniture & Fittings	Purchase	26/10/05	THE OUTDOOR FURNITURE SPECIALISTS		0.00	179.00
S/STEEL ASHTRAY	Furniture & Fittings	Purchase	18/01/06	NOOSA WHOLESALERS 12 Rene Street NOOSAVILLE QLD 4566	155.00	155.00	
1 x Stand	Furniture & Fittings	Purchase	28/06/06	First Avenue Accommodation P/L		0.00	507.00
Vision Cross Trainer	Furniture & Fittings	Purchase	31/07/06	Future Fitness Equipment		0.00	2,453.63
2 X METRO SLING CHAIRS @ \$244.50 EACH	Furniture & Fittings	Purchase	04/10/06	THE OUTDOOR FURNITURE SPEC		0.00	489.00
4 X SILVER BERGEN TABLES @ 155 EACH	Furniture & Fittings	Purchase	25/09/06	THE OUTDOOR FURNITURE SPEC		0.00	620.00
16 X SILVER ARMCHAIRS @ \$70 EACH	Furniture & Fittings	Purchase	25/09/06	THE OUTDOOR FURNITURE SPEC		0.00	1,120.00
9 X CUSHIONS @ \$75 EACH only 7 left 27/5/08	Furniture & Fittings	Purchase	28/08/06	THE OUTDOOR FURNITURE SPEC		0.00	675.00
				Page Totals	155.00	155.00	6,043.63
				Report Totals	155.00	155.00	21,342.03

ASSET REGISTER

THE BEACH CLUB MOOLOOLABA CTS 15260

Description	Type	Method of Acquisition	Date of Acquisition	Acquired from	Original Cost	Cost to date	Market Value
1 TABLE & 6 CHAIRS	Furniture & Fittings	Purchase	08/05/07	THE BEACH CLUB RESORT - EFT Cnr Meta Street & First Avenue MOOLOOLABA QLD 4557	689.00	689.00	689.00
Pool furniture Umbrella & 2 lounges	Furniture & Fittings	Purchase	07/08/07	First Avenue Accommodation P/L		0.00	577.00
Pool Umbrella	Furniture & Fittings	Purchase	22/04/08	First Avenue Accommodation P/L		0.00	179.00
RESKIN 2 UMBRELLAS	Furniture & Fittings	Purchase	18/06/08	COBBS CANVAS WORLD		0.00	3,100.00
Horizon Sail Structures	Furniture & Fittings	Purchase	27/08/08			0.00	26,785.00
HARBORD UMBRELLA - NATURAL	Furniture & Fittings	Purchase	30/12/08	DAYDREAM LEISURE FURNITURE		0.00	129.00
2 Umbrellas	Furniture & Fittings	Purchase	23/06/08	Cobbs Canvas World		0.00	3,100.00
1 umbrella	Furniture & Fittings	Purchase	29/08/08	First Avenue Accommodation P/L		0.00	119.00
				Page Totals	689.00	689.00	34,678.00
				Report Totals	844.00	844.00	56,020.03

ASSET REGISTER

THE BEACH CLUB MOOLOOLABA CTS 15260

Description	Type	Method of Acquisition	Date of Acquisition	Acquired from	Original Cost	Cost to date	Market Value
Artificial Plants	Furniture & Fittings	Purchase	29/08/08	First Avenue Accommodation P/L		0.00	883.52
POOL UMBRELLA	Furniture & Fittings	Purchase	04/08/09	THE BEACH CLUB RESORT - EFT Cnr Meta Street & First Avenue MOOLOOLABA QLD 4557	119.00	119.00	
POOL LOUNGE CHAIRS	Furniture & Fittings	Purchase	04/08/09	THE BEACH CLUB RESORT - EFT Cnr Meta Street & First Avenue MOOLOOLABA QLD 4557	1,640.00	1,640.00	1,640.00
REEF CHAIR	Furniture & Fittings	Purchase	02/10/09	THE BEACH CLUB RESORT - EFT Cnr Meta Street & First Avenue MOOLOOLABA QLD 4557	572.00	572.00	572.00
MANHATTAN LOUNGE	Furniture & Fittings	Purchase	08/01/10	THE BEACH CLUB RESORT - EFT Cnr Meta Street & First Avenue MOOLOOLABA QLD 4557	628.00	628.00	628.00
UMBRELLA & STAND	Furniture & Fittings	Purchase	08/01/10	THE BEACH CLUB RESORT - EFT Cnr Meta Street & First Avenue MOOLOOLABA QLD 4557	539.10	539.10	539.10
UPRIGHT BIKE	Furniture & Fittings	Purchase	29/09/10	CALGYM PHYSICAL CONDITIONING PO BOX 3214 ROBINA TOWN CENTRE QLD		0.00	2,805.00
FLUID ROWER	Furniture & Fittings	Purchase	29/09/10	CALGYM PHYSICAL CONDITIONING PO BOX 3214 ROBINA TOWN CENTRE		0.00	1,974.50
				Page Totals	3,498.10	3,498.10	9,042.12
				Report Totals	4,342.10	4,342.10	65,062.15

ASSET REGISTER

THE BEACH CLUB MOOLOOLABA CTS 15260

Description	Type	Method of Acquisition	Date of Acquisition	Acquired from	Original Cost	Cost to date	Market Value
UMBRELLA BASE	Furniture & Fittings	Purchase	22/02/11	DAYDREAM LEISURE FURNITURE CNR MAIN DRV & NICKLIN WAY WARANA QLD 4575		0.00	126.00
	Furniture & Fittings	Purchase	23/04/13	Daydream Leisure Furniture		0.00	179.00
	Furniture & Fittings	Purchase	12/05/16	Daydream Leisure Furniture completed 24/04/13 \$110.00 & again 12/05/2016 \$440.00		0.00	440.00
	Furniture & Fittings	Purchase	15/07/13	DAYDREAM LEISURE FURNITURE		0.00	1,412.00
	Furniture & Fittings	Purchase	19/06/13	cool canopies		0.00	3,880.00
REEF CHAIR & TABLE	Furniture & Fittings	Purchase	11/02/14	DAYDREAM LEISURE FURNITURE Cnr Main Drive & Nicklin Way WARANA QLD 4575	1,370.00	1,370.00	1,370.00
Coffee Table 50cm Round Silver	Furniture & Fittings	Purchase	05/07/14	Daydream Leisure Furniture		0.00	186.00
BERMUDA LOUNGE SILVER/SLATE	Furniture & Fittings	Purchase	11/07/14	DAYDREAM LEISURE FURNITURE		0.00	179.00
				Page Totals	1,370.00	1,370.00	7,772.00
				Report Totals	5,712.10	5,712.10	72,834.15

ASSET REGISTER

THE BEACH CLUB MOOLOOLABA CTS 15260

Description	Type	Method of Acquisition	Date of Acquisition	Acquired from	Original Cost	Cost to date	Market Value
BERMUDA CHAIR & FOOTSTOOL SILVER/SLATE	Furniture & Fittings	Purchase	11/07/14	DAYDREAM LEISURE FURNITURE		0.00	249.00
BERMUDA CHAIR & FOOTSTOOL SILVER/SLATE COFFEE TABLE 50CM ROUND SILVER CHAIRS	Furniture & Fittings	Purchase	18/07/14	DAYDREAM LEISURE FURNITURE		0.00	310.00
CONFERENCE FRIDGE	Furniture & Fittings	Purchase	30/12/15	FIRST AVENUE ACCOMMODATION SITTING AROUND		0.00	2,057.00
BBQ GROUND FLOOR	Furniture & Fittings	Purchase	30/12/15	FIRST AVENUE ACCOMMODATION JOYCE MAYNE		0.00	542.00
Sunlounges x 6	Furniture & Fittings	Purchase	18/04/18	Bunnings		0.00	714.00
HW 1050 PERFORMANCE PLUS SWIMMING POOL HEAT PUMP	Office Equipment	Purchase	08/07/00	JOYCE MAYNE		0.00	117.00
	Plant and Machinery	Purchase	19/04/02	HEAT PUMP SYSTEMS 105 KARAWATHA ST BUDERIM MEADOWS Q 4556		0.00	16,450.00
	Page Totals			Report Totals	0.00	5,712.10	21,874.00 94,708.15

ASSET REGISTER

19 July 2018

THE BEACH CLUB MOOLOOLABA CTS 15260

Description	Type	Method of Acquisition	Date of Acquisition	Acquired from	Original Cost	Cost to date	Market Value
NILFISK PUSH SWEEPER	Plant and Machinery	Purchase	20/03/06	BM & SJ MANAGEMENT SERVICES Cnr Meta Street & First Ave MOOLOOLABA QLD 4557	1,090.00	1,090.00	1,090.00
Viking 715 Electric Hedger	Plant and Machinery	Purchase	31/10/06	The Beach Club Mooloolaba		0.00	429.00
FLOOR SWEEPER	Plant and Machinery	Purchase	24/06/11	RAY MCMULLEN PO BOX 917 MOOLOOLABA QLD 4557	400.00	400.00	
Truvox Multiwash 340mm Multi Surface Scrubber with brushes, trolley, hand battery scrubber, hard brush	Plant and Machinery	Purchase	30/09/13	AlphaClean Australia		0.00	2,904.00
Force USA - Functional Trainer System	Plant and Machinery	Purchase	23/11/16	Gym & Fitness		0.00	1,699.00
FreeForm F2000 Endurance Runner	Plant and Machinery	Purchase	23/11/16	Gym & Fitness		0.00	2,999.00
Assault Air Bike - Black	Plant and Machinery	Purchase	23/11/16	Gym & Fitness		0.00	1,299.00
WaterRower Club S4	Plant and Machinery	Purchase	23/11/16	Gym & Fitness		0.00	1,623.00
				Page Totals	1,490.00	1,490.00	12,043.00
				Report Totals	7,202.10	7,202.10	106,751.15

Pool safety certificate

23

Version 1 effective 6 October 2010

A pool safety certificate is required in Queensland when selling or leasing a property with a regulated pool. This form is to be used for the purposes of sections 246AA and 246AK of the *Building Act 1975*

1. Pool safety certificate number

Certificate number:

100398001478

2. Location is the swimming pool

Lot/s on plan details are usually shown on the title documents and rates notices

Street address:

87 FIRST AVE, MOOLOOLABA 4557

Lot/s on plan:

0BUP105598

Local government area:

SUNSHINE COAST REGIONAL

3. Exemptions, alternative solutions or special restrictions for the swimming pool

If it is known that an exemption, alternative solution or restriction is applicable to the swimming pool please state this. For example, a restriction may require a permanent body of water that is part of the swimming pool barrier to be maintained to a minimum depth. This will help provide pool owners with a concise and practical explanation of the exemption, alternative solution or restriction. It will also help to ensure the ongoing use of the pool and any future modifications do not compromise compliance with the pool safety standard.

No exemptions apply

No alternative solutions apply

No special restrictions apply

4. Shared pool or non-shared pool

Shared pool

Non-shared pool

5. Pool safety certificate expiry

Effective date:

21 Jan 2018

Expiry date:

20 Jan 2019

The *Building Act 1975* is administered by
the Department of Infrastructure and Planning



6. Certification

This certificate states that the pool safety inspector has inspected the regulated pool and is satisfied that the pool is a complying pool under the *Building Act 1975*.

I certify that I have inspected the swimming pool and I am reasonably satisfied that, under the Building Act 1975, the pool is a complying pool.

Name:

Karl Guerin

Pool safety inspector licence number:

100398

Signature:

Karl Guerin

Date:

21 Jan 2018

Other important information that could help save a young child's life

It is the pool owner's responsibility to ensure that the pool (including the barriers for the pool) is properly maintained at all times to comply with the pool safety standard under the Building Act 1975. Gates and doors giving access to the pool must always be kept securely closed while they are not in use. High penalties apply for noncompliance. It is essential that parents and carers carefully supervise young children around swimming pools at all times. Parents should also consider beginning swimming lessons for their young children from an early age. Please visit www.dip.qld.gov.au/poolsafety for further information about swimming pool safety. This pool safety certificate does not certify that a building development approval has been given for the pool or the barriers for the pool. You can contact your local government to ensure this approval is in place.

This is a public document and the information in this form will be made available to the public.

The *Building Act 1975* is administered by
the Department of Infrastructure and Planning

